

GO HouZE Pvt. Ltd.

A Unit Of Shri Balaji Property




SHRI BALAJI
PROPERTY

A STAIR TO BUILD YOUR DREAM EMPIRE

WHAT IS A SMART HOME



A smart home refers to a convenient home setup where appliances and devices can be automatically controlled remotely from anywhere with an internet connection using a mobile or other networked device. Devices in a smart home are interconnected through the internet, allowing the user to control functions such as security access to the home, temperature, lighting and a home theater etc remotely.

UNIQUE FEATURES



**Smart
Wardrobes / Cabinet**



**ELCV & High Class
Electric Earthing**



**Machine Room Less
Passenger Lift**



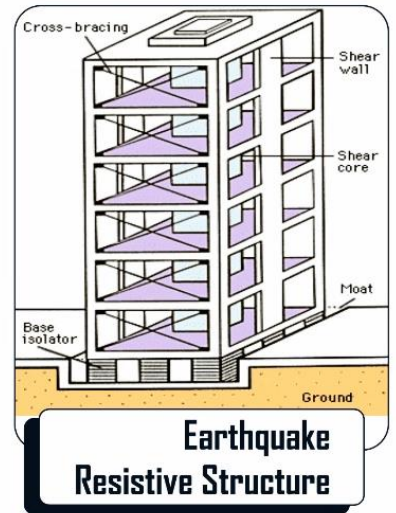
**Smart Lock With Biometric /
Manual / Code System**



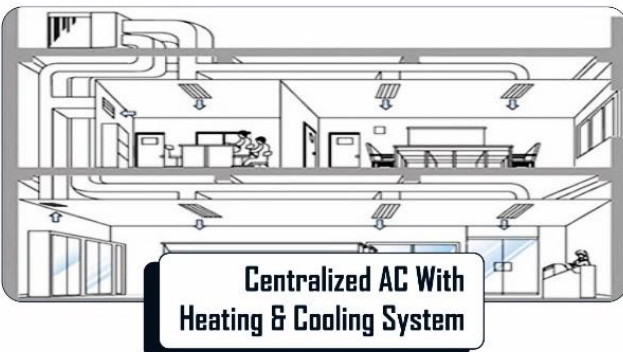
**(PIR Sensor)
Automatic Light On/Off**



**Smart Switches with
touch panels**



**Earthquake
Resistive Structure**



**Centralized AC With
Heating & Cooling System**

- APPROVED MAP
- SEWERAGE PLAN
- ELEVATION DESIGN
- ELECTRIC PLAN
- FLOOR PLAN
- PLUMBING PLAN

**All type Structural
Plans**

FLOOR PLAN

Every Inch Of Your Floor Is Designed By Experts By Considering Your Safety And Comfort...



DESCRIPTION

CONSTRUCTION TYPE : C-46, NARAINA VIHAR, DELHI-110028

PLOT SIZE : 200 SQ YARDS

FLOOR TYPE : 3 BHK WITH STILT PARKING

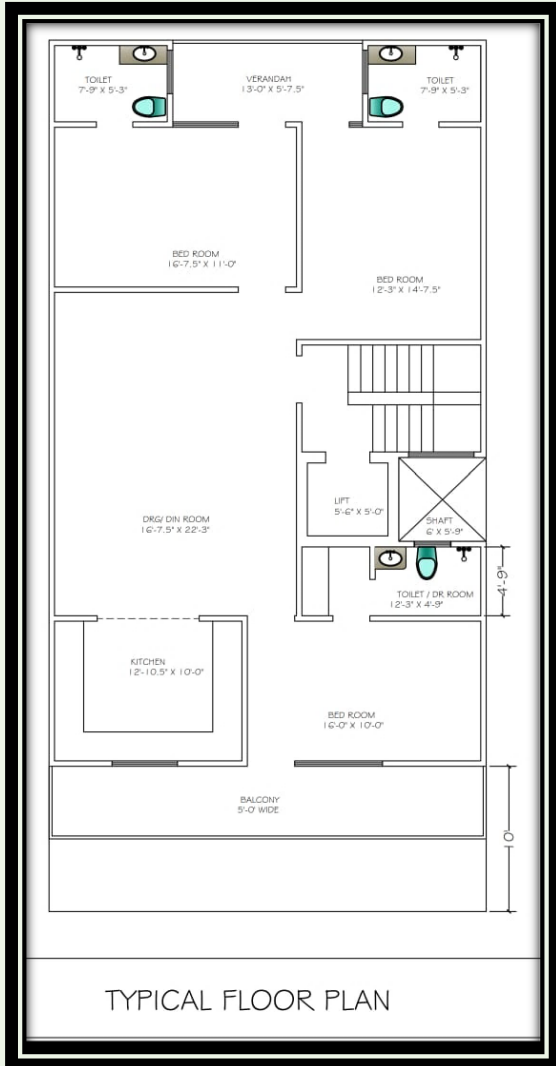
PLOT SHAPE : PROPER RECTANGULAR (30X60 FEETS)

FACING : EAST FACING

ENVIRONMENT : PARK FACING PROPERTY, 30-40% LESS

POLLUTED AREA AS COMPARE TO OTHER BLOCK OF NARAINA VIHAR (AIR & SOUND POLLUTION BOTH)

BUILDING LAYOUTS

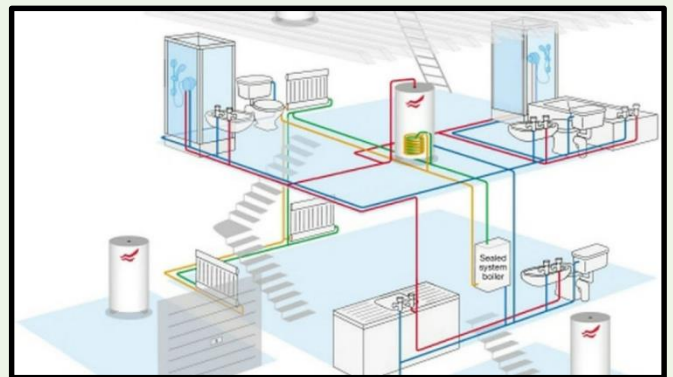


TYPICAL FLOOR PLAN

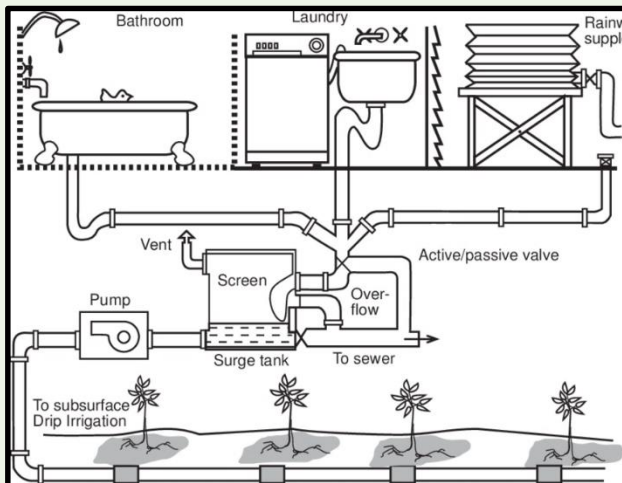
FLOOR PLAN



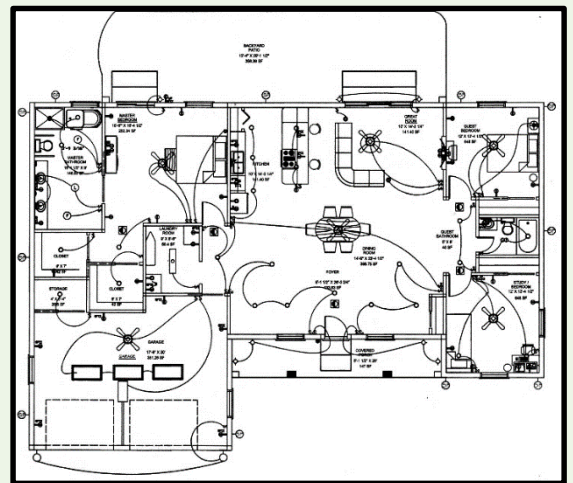
ELEVATION



PLUMBING PLAN



SEWERAGE PLAN

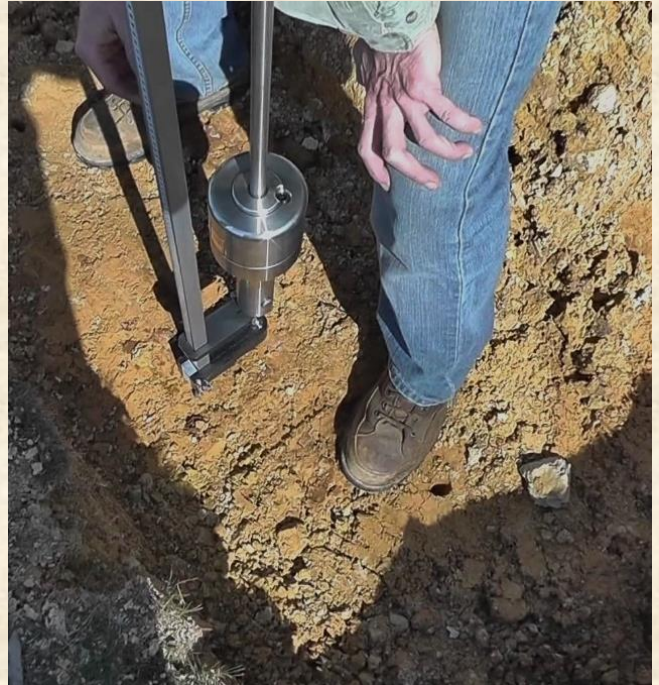


ELECTRIC PLAN

BUILDING SAFETY

SOIL TESTING:

Soil test is conducted to test the bearing capacity. It ensure to determine the structure stabilization. It is also done to exposed unknown dangerous factor that might be the end result of fatal. After getting the positive result of soil test, we proceed for building structure.



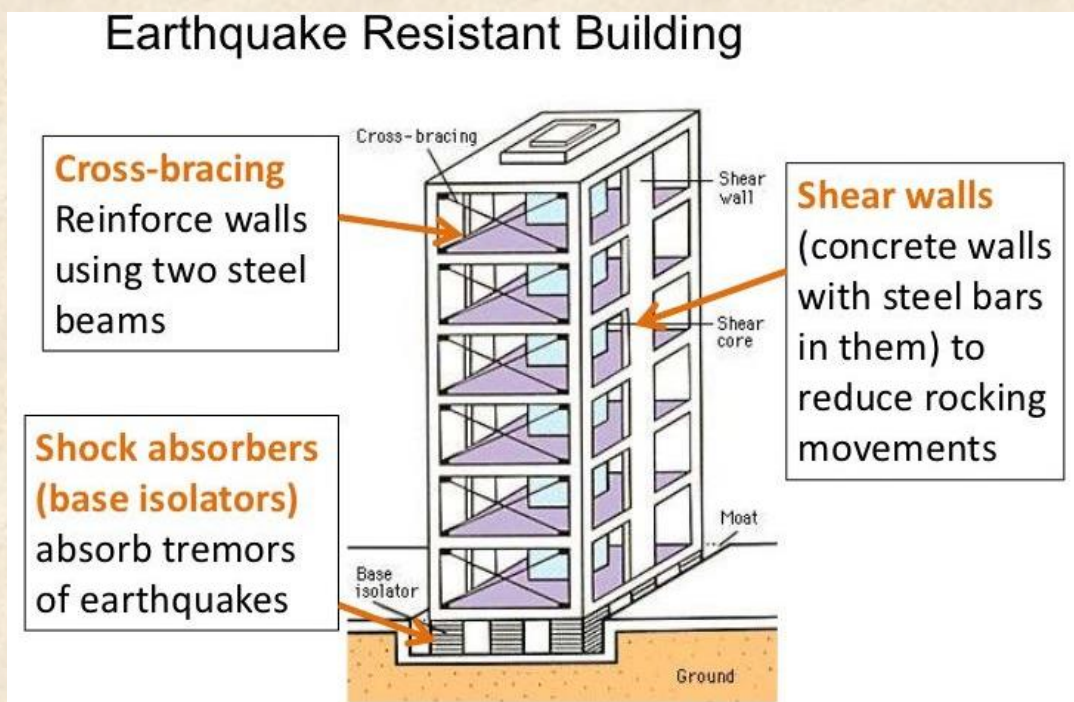
ANTI – TERMITE TREATMENT:

To be done by specialized agency of treatment: ISI/ISO certified with adequate warranty. Termite treatment shall be done on exposed excavated ground before any construction in the entire plot. We prefer PCI.

BUILDING SAFETY

EARTHQUAKE RESISTIVE STRUCTURE:

The residential building shall be designed for the seismic consideration of ZONE IV (in which Delhi is located) and shall be a “RCC FRAMED STRUCTURE”.



ELECTRIC EARTHING:

All 3 earthing shall be provided for the entire building.

STRUCTURE SAFETY:

Pedestals RCC columns, beam & slabs are provided for strengthen the building structure.

CIVIL WORK

EXCAVATION:

All excavation will be done as per approved drawings is used by the structural consultant. Back filling, Ramming, watering, compacting shall be done as and when required.



CEMENT:

Ultratech, ACC, Ambuja or equivalent; ISI approved standard cement of best quality (PPC grade) shall be used.

APPROVED BY:



STRUCTURE:

The structure of building shall be earthquake resistive RCC framed which can withstand with building strain and in earthquake situation. RCC frame structure shall be contain pedestals RCC columns, beams, footing, slabs and T beams etc.



CIVIL WORK

**TATA
TISCON**
JOY OF BUILDING



STEEL:

TATA Tiscon Steel shall be used.

COARSE SAND:

Super quality coarse sand will be used for civil work.

AGGREGATE:

Super quality aggregate will be used for civil work.

BRICK WORK:

Best quality of 9" brickwork shall be done in foundation & super structure with mix of 1:4 cement mortar or richer and in internal brick wall of 4.5" thickness with 1:4 of cement mortar with 6mm round bar in every fourth course.

CIVIL WORK

PLASTERING:

External:

- 20 mm to 25 mm thick plaster or as recommended by the project Architect.
- Racking, masonry joints, curing, tacking of concrete surfaces before plaster shall be done.

Plaster Thickness:

- Internal walls have plain finish plaster of mix 1:5.
- Roof of 1:4 external walls will have a single layer of plaster mix 1:5 (mixed coarse and fine sand).
- Internal plaster will be 12mm thick, external plaster will be 15mm thick.



FLOOR HEIGHT:

9'6" approx. clear between floor and ceiling for other as per rules 112 inch clear from height as per architectural design.

WATER PROOFING:

Waterproofing will be done by Dr. Fixit in all sunken floor/areas, balconies, bathroom, kitchen and terraces at every stage of construction.

FLOORING

ITALIAN MARBLE WORK:

Drawing/Dining room, 2Bedroom, lobby, kitchen, family lounge & passage shall be done by superior Italian marble, joints finished with neat cement, also with pigment to match shade of marble. One Bedroom on each floor will have wooden flooring, laid as per architectural design.

REAR BALCONY:

Granite/Tiles for balconies shall be provided.

STILT PARKING/ STAIRCASE:

Granite for stilt floor & Stilt wall area will be designed as latest per architectural design.

BATHROOM:

Granite stone/ tiles for floor & tiles for wall in bathroom to be provided till full height upto ceiling.

KITCHEN SLAB/ COUNTER TOP:

Granite or stone shall be provided.

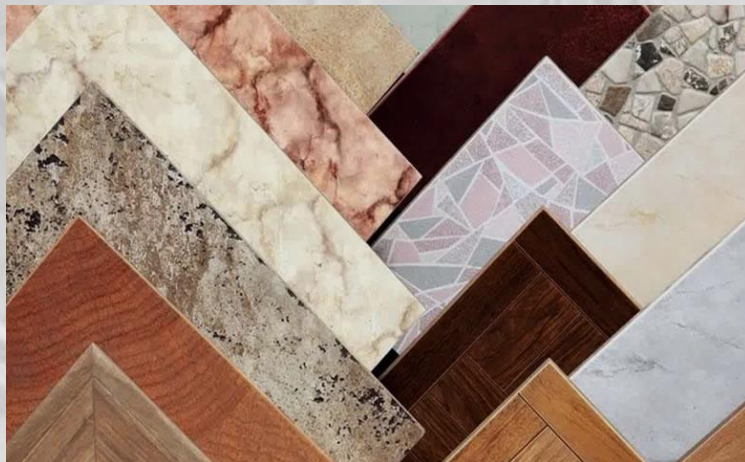
TERRACE:

Marble /Stone/Tiles for terrace flooring.

MARBLE POLISHING:

All Italian Marble shall be diamond polished to give granolithic finish.

All the above prices shall be exclusive of labour charges.



PLUMBING WORK

DRAINAGE WORK:

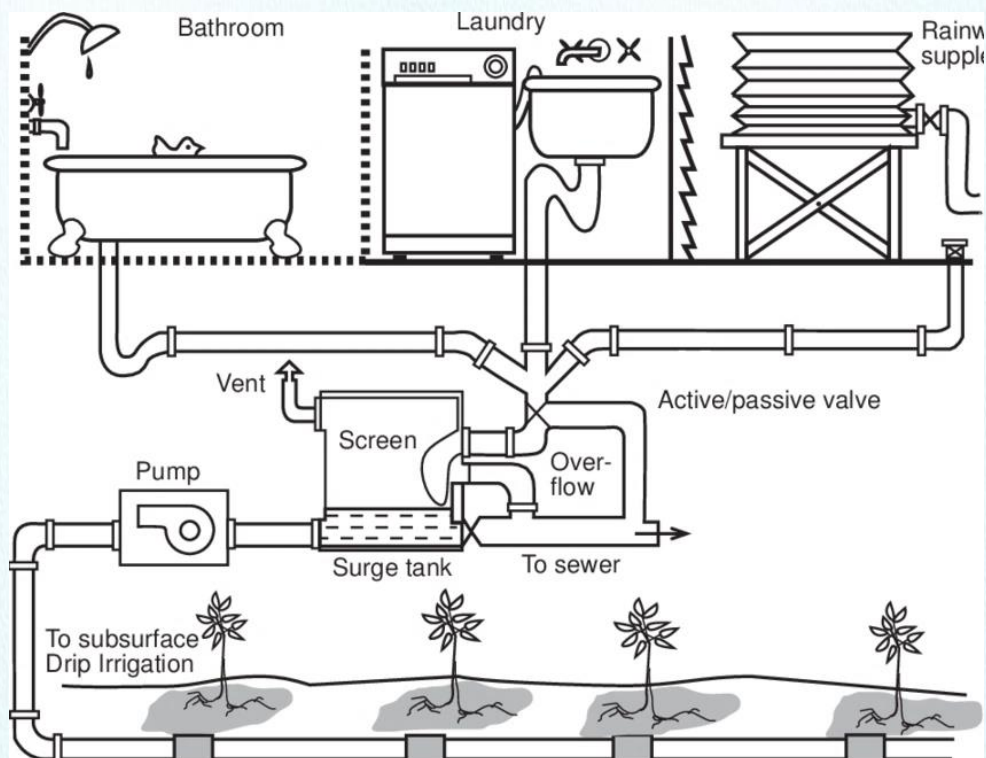
ISI specifications heavy grade PVC pipe in sewer & manholes line (supreme 10Kg) of 6" and for rain water, soil & sewerage waste pipe of 4" will be provided.

WATER SUPPLY:

CPVC water supply lines pipes of supreme/astral shall be used.

WATER STORAGE:

5 Overhead water tanks (one for each floor & one for common area) of Sheetal or equivalent make of 1000 litres capacity for each floor shall be provided on elevated terrace. The overhead tanks shall be three layered make.



PLUMBING WORK



HOT & COLD WATER:

As per architects design HOT and COLD water lines will be provided in each bathrooms and kitchens.

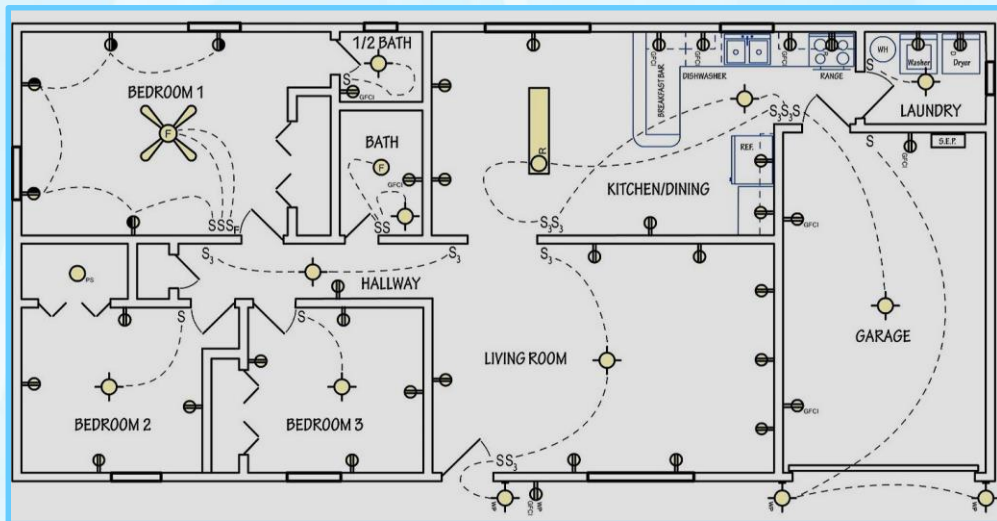
FITTINGS:

Chrome plated (CP) fitting for bathrooms and kitchen taps & mixture shall be done by JAGUAR. Water closet (WC) and wash basin shall be done by JAGUAR& equivalent also.

VANITIES:

Vanities (Including touch light mirror) to be provided in all bathroom with waterproof board and outer finish with laminate/PVC shall be done.

ELECTRIC WORK



WIRING:

HAVELLS STANDARD/ FINOLEX-FRLS multistrand, fireproof wiring shall be used. Inverter wiring will be provided in each floor. Separate wiring for T.V. connections to be provided in lobby, bedrooms and drawing room.

The wiring specifications are:

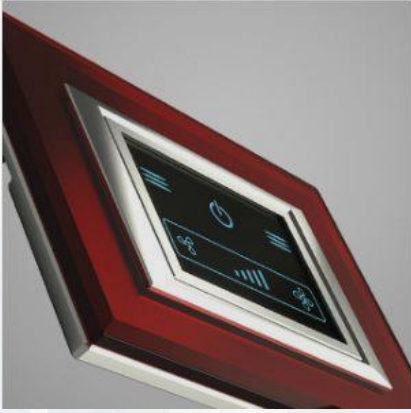
Main line:	10.00mm sq
Power Circuit AC:	4.00mm sq
Other Power Circuits:	2.50mm sq
Light Circuit:	1.50mm sq
Earthing :	1.00mm sq



E.L.C.B./ M.C.B.:

Havells standard/ Schneider/ L&T or equivalent will be used for electric safety purpose.

ELECTRIC WORK



SMART SWITCHES:

- Smart switch with touch panel will be given in Living room.
- Switches working will be based on touch method and also can be controlled by remote/android based device.

SWITCHES:

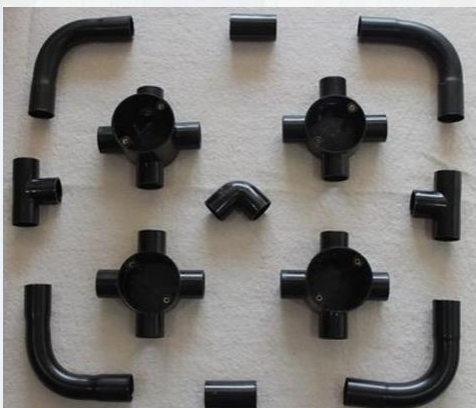
Modular switches used shall be from Havells standard or equivalent shall be used..

CONDUITS:

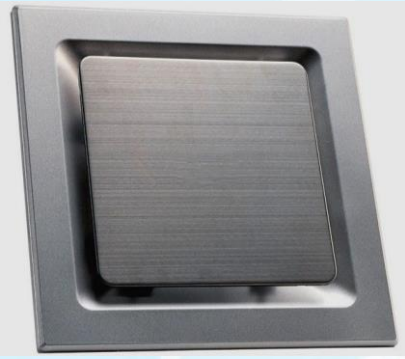
PVC pipe and elbow make of AKG/Polypack/Setia or equivalent of ISI approved. Conduit pipe shall used in RCC roof/wall as medium.

KITCHEN SPEAKER:

Speaker board in kitchen shall be provided which is very compact and look as a switch board in which FM, Bluetooth, Data cable connectivity is available.



ELECTRIC WORK



EXHAUST FAN:

Crompton/Havells or equivalent exhaust fan will be used in each bathroom of every floor.

CEILING FAN:

Smart fan with remote control shall be provided in living room.

GEYSERS:

In all bathroom geyser of 25 ltr capacity and in kitchen of 3 ltr capacity will be provided on each floor.

PROFILE LIGHT:

DRAWING ROOM shall be designed by fancy ceiling with latest design.



ELECTRIC WORK

AIR CONDITIONING

Centralized AC/VRV system will be provided for each floor of DAIKIN.

Separate outdoor unit for each floor will be provided.

AC indoor unit will be provided in each room, living/ dining room.

Provision for Inverter point shall be provided on each floor separately.

Provision for separate split AC pipe in kitchen on each floor.



PIR SENSORS:

Automatic Room Lighting with Bidirectional Visitor Counter will be used to automatically turn on the light in a room when a person enters the room and turn it off when the person leaves the room.



ELECTRIC WORK

LIGHTS:

LED panel for ceiling lights to be provided in all rooms.



DOOR BELL:

Hikvision /CP plus or equivalent will be provided on entrance gate, near lift area/stairs & connect to each floor.



METER:

Separate 5KW meter for each floor and one 8 KW for lift & common area to be provided. Water meter to cover with iron box and electric meter to covered with electric panel box.



WOOD WORK



DOORS/ FRAMES:

- Engineered door frame of high class every cost wood section (6'X2.5') and door thickness of 40mm with veneer finish shall be provided.
- Tower Bolt and stopper.
- Handle lock make by of Archies, dorset or similar.
- Handle lock with fingerprint sensor/manual/code system will be provided on **FLOOR ENTRANCE DOOR**.



WOOD WORK



WARDROBES:

The wardrobe shall be made by machine fine pressing finish and the length and width of which shall be as per the space available in the dressing area & as per architectural drawing plan. PVC sheet to be fixed in back side of almirah. Internal finish with laminate and outer finish with combination of mica laminates /PVC etc.

CHANNELS:

Telescopic channels will be used in drawers in almirah & wardrobes. Stainless steel screw/bolt will be used in fittings.

INNOTECH KITCHEN



- The Kitchen shall be of mica finish with fine machine pressing.
- The kitchen and wardrobe laminates shall be of fine machine pressing finish.
- Kitchen sink shall be of double bowl of handmade finish on all floors.
- The kitchen and wardrobe architectural fittings shall be of Hafele / Hettich Make.
- The Kitchen Chimney shall be of KAFF / FABER on each floor.
- The Kitchen Instant Geyser shall be Crompton / Bajaj or equivalent of 3 litres.
- The kitchen Slab/Counters shall be of granite/composite/others on all floors.



INTERIOR AND EXTERIOR



POP & PAINT WORK:

- Rooms: POP fall ceiling with concealed light or with profile light or cove for each floor in all bedrooms and drawing room, POP punning on walls and washable plastic paint of brand Asian / Berger/ Dulux or equivalent.
- Outdoor – Balcony Ceiling will have Apex Paint.
- **Staircase and Stilt parking** shall be done by **fancy footlight**, tiles and plastic paint as per architectural design.

POLISH:

All door set, windows shall be done by best melamine polish with matt finish.

INTERIOR AND EXTERIOR



WALLPAPER:

Each Floor shall have wallpaper in one bedroom & drawing room on one wall as per architectural design

RAILINGS:

Staircase railings of SS Grade 304 and front elevation railing designed by architect.

GLASS:

- Mirrors in all toilets shall be provided with modern fancy touch mirror light for each washroom.
- All external glasses in windows shall of 6-8 mm thickness and fixed in UPVC frame.
- Partition glass (for shower area) shall be provided in all washrooms on each floor, as per the space.

TERRACE GARDEN



- GARDEN DESIGN: MODERN ROOFTOP GARDEN (DESSIGNED BY ARCHITECT)**
- FLOORING TYPE : GRANITE FLOORING MIX WITH GRASS FLOORING**
- LIGHT WORK : FANCY LIGHT & FOOTLIGHT**
- SPACE FOR NATURAL PLANT**
- SITTING AREA**
- WASHROOM PROVISION**
- LIFT PROVISION**



GENERAL TERMS

- All floors to have identical specification, material & finishes.
- All designs including initial plans and sanctions drawings shall be discussed with both party prior to submission or execution.

ADMINISTRATION

- LAND MAP plan/ MCD approval /DJB /NDPL connection / ARCHITECT fee - All expenses shall be dealt in solely by the developer from possession taken over to till possession handover.
- Separate TPDDL electricity meters, Water connections from DJB for each floor to be installed in stilt. Any amount to be deposited for TPDDL will be paid by developer & DJB will be paid by the floor owners respectively.
- 1 HP motor for water connection for each floor shall be provided and each water meter shall be placed in lockable cast iron Box provided by the developer.



ON TIME POSSESSION

EASY PAYMENT PLAN

EASY LOAN SCHEME

